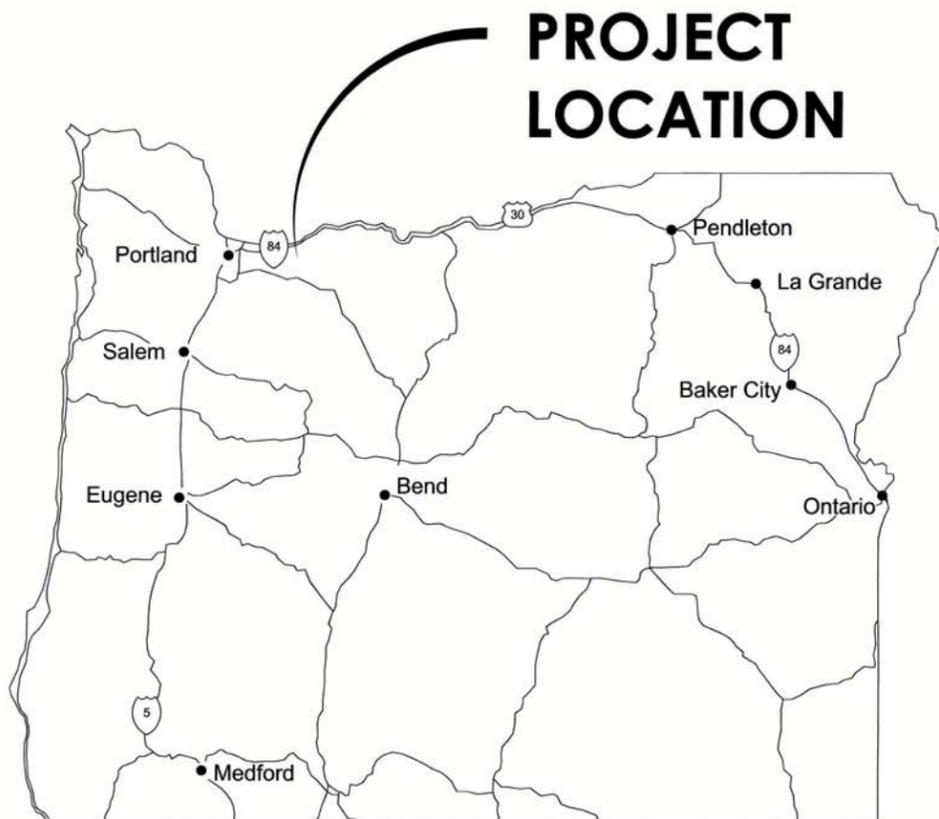


City of
WOOD VILLAGE, OREGON
WOOD VILLAGE GREEN MOBILE
HOME PARK
 DECEMBER - 2016

J:\214027 WV GEN ENG\004 - MOBILE HOME WATERLINE\DESIGN\CAD\DESIGN\PLANS\1C-001 - TITLE SHEET.DWG LAST SAVED: 11/17/2016 4:03 PM PRINTED: 11/17/2016 4:06 PM

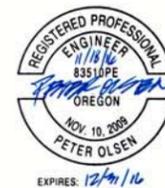


PROJECT LOCATION

A1 LOCATION MAP
 N.T.S.

OWNER
 City of Wood Village
 2055 NE 238th Dr
 Wood Village, OR
 97060-1095
 CONTACT: Scott Sloan
 Phone: 503-489-6862

CIVIL ENGINEER
 KELLER ASSOCIATES,
 INC.
 707 13th Street SE #280
 Salem, OR 97301
 Contact: Peter Olsen, P.E.
 Phone: 503-364-2002



JOB SITE

A4 VICINITY MAP
 N.T.S.

NO.	REVISIONS	BY	DATE

DRAWN: JLP CHECKED: JLT
 DESIGNED: JLT APPROVED: PAO

VERIFY SCALE:
 Scales based on 22"x34" prints. 2 Inches

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FOR CONSTRUCTION



City of Wood Village, Oregon
 Wood Village
 Green Mobile Home Park

WOOD VILLAGE - GREEN WATERLINE

TITLE SHEET

PROJECT NO.
214027-004
 SHEET NO.
C-001

GENERAL NOTES AND SPECIAL PROVISIONS

GENERAL NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT VERSION OF THE CITY OF WOOD VILLAGE PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS AND DETAILS, AS WELL AS THE OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS DOCUMENT CAN BE OBTAINED FROM THE WOOD VILLAGE PUBLIC WORKS DEPARTMENT. THE MORE STRINGENT OF THE THESE TWO STANDARDS SHALL BE THE CONTROLLING STANDARDS OR SPECIFICATIONS.
- THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL HAVE A MINIMUM OF ONE SET OF APPROVED PLANS AND SPECIFICATIONS FROM THE CITY ON THE JOB AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL ALSO HAVE A COPY OF THE OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION AND WOOD VILLAGE PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS AND DETAILS ON THE JOB AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE INSPECTIONS AND TESTING AS WORK PROCEEDS. THE CONTRACTOR MUST REQUEST AN INSPECTION FROM THE CITY OF WOOD VILLAGE PUBLIC WORKS 48 HOURS PRIOR TO A REQUIRED "MILESTONE" TEST OR INSPECTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND BECOME FAMILIAR WITH AND SATISFY BIDDER AS TO THE GENERAL, LOCAL, AND SITE CONDITIONS THAT MAY AFFECT COST, PROGRESS, AND PERFORMANCE OF THE WORK.
- THE CONTRACTOR AGREES AT THE TIME OF SUBMITTING ITS BID THAT NO FURTHER EXAMINATIONS, INVESTIGATIONS, EXPLORATIONS, TESTS, STUDIES, OR DATA ARE NECESSARY FOR THE DETERMINATION OF ITS BID/QUOTE FOR PERFORMANCE OF THE WORK AT THE PRICE QUOTED AND WITHIN THE TIMES AND IN ACCORDANCE WITH THE OTHER TERMS AND CONDITIONS OF THE BIDDING DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE ONE (1) FULL SIZE SET OF AS-BUILT DRAWINGS TO THE ENGINEER WITHIN ONE (1) WEEK OF COMPLETION OF THE WORK.
- CONTRACTOR SHALL POTHOLE ANY POTENTIAL UTILITY CROSSINGS/CONFLICTS PRIOR TO ANY UTILITY CONSTRUCTION AND PRIOR TO ORDERING MATERIALS. IF CONFLICT EXISTS, CONTRACTOR TO CONTACT PROJECT ENGINEER.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON PLANS IN AN APPROXIMATE WAY ONLY. CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE REGULATIONS REGARDING UNDERGROUND FACILITIES DAMAGE PREVENTION. CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING ANY ON-SITE WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED AS A RESULT OF HIS WORK.
- RESOLVE ANY OMISSIONS, CONFLICTS AND DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH WORK INVOLVED.
- MATERIAL AND COMPACTION FOR PIPE BEDDING, PIPE ZONE AND TRENCH BACKFILL SHALL MEET THE CITY OF WOOD VILLAGE PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS AND OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION. COMPACTION TESTING MUST BE PERFORMED EVERY 100 FEET OF PIPELINE.
- THE CONTRACTOR SHALL COORDINATE ALL TESTING PROCEDURES. FLUSHING AND TESTING OF PIPELINES SHALL BE CONDUCTED AS

- OUTLINED IN THE CITY'S PUBLIC WORKS STANDARD CONSTRUCTION SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL TESTING PROCEDURES AND THE INCURRED COST, SUCH AS SOIL BEARING AND BACKFILL COMPACTION.
- ASSURE THAT CONTINUITY IS MAINTAINED IN LOCATING WIRE.
- IF NORMAL CONSTRUCTION PRACTICES ARE UTILIZED, IT IS ANTICIPATED THAT CONSTRUCTION OF THIS PROJECT WILL RESULT IN TOTAL LAND DISTURBANCE OF LESS THAN ONE (1) ACRE, THEREFORE, A DEQ 1200-C EROSION AND SEDIMENT CONTROL PERMIT WILL NOT BE REQUIRED. HOWEVER, CONTRACTOR SHALL EMPLOY BEST MANAGEMENT PRACTICES FOR SEDIMENT AND EROSION CONTROL.
- EROSION/SILTATION/SEDIMENT CONTROL MEANS SHALL BE IN PLACE AND APPROVED BY THE CITY PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TEMPORARY EROSION CONTROL MEASURES WHERE ANY RUNOFF FROM THE CONSTRUCTION AREA MAY ENTER DRAINAGE CHANNELS, WATERWAYS, OR ENVIRONMENTALLY SENSITIVE AREAS AS DIRECTED BY THE CITY.
- DEWATERING: CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING NECESSARY TO COMPLETE THE INSTALLATION. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN AN NPDES 1200-C STORMWATER DISCHARGE PERMIT FROM OREGON DEQ WATER QUALITY PERMIT PROGRAM PRIOR TO DEWATERING.
- THE CONTRACTOR SHALL LOCATE THEIR OWN STAGING AREA FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF THEIR EQUIPMENT AND MATERIALS.
- SITE AND STAGING AREA CONDITIONS INCLUDING, BUT NOT LIMITED TO THE LANDSCAPING AND GRASS, MUST BE RETURNED TO EXISTING OR BETTER CONDITION AT CITY DIRECTION. ANY DAMAGE TO THE STREET SURFACE OR CURB SHALL BE REPAIRED OR REPLACED AT THE CITY'S DISCRETION.
- THE CONTRACTOR SHALL DISPOSE ALL EXCAVATED WASTE MATERIALS OFF-SITE, AT A SITE SELECTED BY THE CONTRACTOR, UNLESS OWNER DIRECTS DIFFERENTLY.
- THE CONTRACTOR SHALL PROVIDE VERTICAL CONTROL FOR THE PROJECT.
- UNLESS OTHERWISE SPECIFIED BY THE CITY, WORK SHALL NOT OCCUR BETWEEN THE HOURS OF 7:00 P.M. AND 7:00 A.M.
- ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION AREA. ACCESS TO INDIVIDUAL PROPERTIES TO BE MAINTAINED AT ALL TIMES. STREETS SHALL BE KEPT CLEAN OF MUD AND CONSTRUCTION DEBRIS AT ALL TIMES.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR SUPPLYING AND PAYING FOR ANY CONSTRUCTION WATER NECESSARY FOR THE COMPLETION OF THE PROJECT. A TEMPORARY METER IS AVAILABLE AT WOOD VILLAGE CITY HALL AND SHOULD BE USED FOR WATER SUPPLIED BY THE CITY'S WATER SYSTEM.
- THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO

COMPLETE THIS PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS INCLUDING SUCH INCIDENTALS AS MAY BE NECESSARY TO MEET THE INTENT OF THE PROJECT CONTRACT DOCUMENTS, APPLICABLE AGENCY REQUIREMENTS, AND OTHER WORK AS NECESSARY TO PROVIDE A COMPLETE PROJECT.

- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF WORK. ALL CONTRACTORS, SUBCONTRACTORS AND/OR UTILITY CONTRACTORS SHOULD BE PRESENT. THE CONTRACTOR SHALL NOTIFY OWNER WHEN SHUTTING DOWN A JOB FOR ANY REASON AND BEFORE RESTARTING WORK AGAIN.
- EXISTING ASPHALT/CONCRETE PAVEMENT SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING.
- THE CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN APPROVED BY THE CITY IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND OREGON SUPPLEMENTS. THE TRAFFIC CONTROL PLAN SHOULD BE SUBMITTED TO THE CITY NOT LESS THAN 5 WORKING DAYS BEFORE SCHEDULED START OF WORK.
- NO PAVING SHALL OCCUR UNTIL THE CONTRACTOR OBTAINS WRITTEN APPROVAL OF ALL INSTALLED UTILITIES FROM THE OWNER.
- THE OWNER HAS THE RIGHT TO INSPECT THE WORK AT ANY TIME DURING CONSTRUCTION. ANY WORK THAT DOES NOT CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS SHALL BE REJECTED.
- ANY DEVIATION FROM THE APPROVED PLANS AND SPECIFICATIONS MUST HAVE THE APPLICABLE AGENCY AND ENGINEER'S APPROVAL IN WRITING PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL RESTORE THE SURFACE AREA OF WORK TO AN EQUAL OR BETTER CONDITION THAT EXISTED PRIOR TO THE WORK UNLESS OTHERWISE SPECIFIED ON PLANS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND PRODUCT DATA FOR ALL MATERIAL AND EQUIPMENT SUPPLIED, AND ANY ASSOCIATED OPERATION AND MAINTENANCE MANUALS TO THE ENGINEER.
- ATTENTION EXCAVATORS: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THESE RULES FROM THE CENTER BY CALLING (503) 232-1987. IF YOU HAVE ANY QUESTIONS ABOUT THE RULES, YOU MAY CONTACT THE CENTER. YOU MUST NOTIFY THE CENTER AT LEAST 2 BUSINESS DAYS BUT NOT MORE THAN 10 BUSINESS DAYS, BEFORE COMMENCING EXCAVATION. CALL (503) 246-6699.
- NO OPEN TRENCHES OR PITS WILL BE ALLOWED DURING NON-WORKING HOURS. THEY ARE TO BE PLATED AND BARRICADED.
- CONTRACTOR MUST COMPLY WITH ALL OSHA RULES AND REGULATIONS.

WATER NOTES:

- WATER PIPELINE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 4 OF THE CITY OF WOOD VILLAGE PUBLIC WORKS DESIGN AND CONSTRUCTION STANDARDS AND DETAILS.
- WATER PIPELINE SHALL BE CONSTRUCTED WITH RESTRAINED JOINTS USING STANDARD MECHANICAL JOINT. RESTRAINT GLAND, RESTRAINT DEVICES FOR MJ FITTINGS AND APPURTENANCES CONFORMING TO ANSI/AWWA C111/A21.11 OR ANSI/AWWA C153/A21.53, EXCEPT FOR WHERE THRUST BLOCKING IS PROVIDED. RESTRAINT DEVICES SHALL BE EBAA IRON SERIES 2000 PV OR APPROVED SUBSTITUTION MEETING ASTM F1764, WITH IDENTIFICATION NUMBER DENOTING YEAR/DAY/PLANT/SHIFT CAST INTO EACH GLAND BODY.
- ALL WATER WORKS COMPONENTS SHALL BE ANSI/NSF 61 CERTIFIED AND MUST MEET ALL AWWA STANDARDS.
- WATER LINES MUST BE DISINFECTED PER CITY OF GRESHAM PUBLIC WORKS STANDARDS, CONSTRUCTION STANDARD SPECIFICATIONS - SECTION 503.15 AND MUST MEET AWWA STANDARDS.
- PRE-ASSEMBLE THE PIPE FITTINGS AND VALVES WITH CORRESPONDING RESTRAINTS.
- COORDINATE WITH THE CITY FOR ISOLATION OF WATER LINES. CONTRACTOR SHALL LIMIT SHUT DOWN OF THE WATER SYSTEM TO 3 HOURS PER SHUT DOWN. IF THE CONTRACTOR NEEDS MORE TIME, THE WORK SHALL BE PERFORMED BETWEEN 9 PM AND 5 AM.
- NSF-61 COMPLIANCE: ALL PRODUCTS IN CONTACT WITH POTABLE WATER AND RECLAIMED WATER MUST COMPLY WITH THE REQUIREMENTS OF NSF-61.
- CONTRACTOR MUST COMPLY WITH ALL OREGON HEALTH AUTHORITY DRINKING WATER PROGRAM CONSTRUCTION STANDARDS SET FORTH IN OAR 333-061-0050, WHICH INCLUDES WATER AND SEWER SEPARATION REQUIREMENTS IN OAR 333-061-0050 (9, 10).
- PRESSURE TEST, WITH ENGINEER PRESENT AFTER TRENCH IS PROPERLY BACKFILLED PER CITY OF GRESHAM PUBLIC WORKS STANDARDS, CONSTRUCTION STANDARD SPECIFICATIONS - SECTION 503.14 AND MUST MEET AWWA STANDARDS.
- ALL DUCTILE IRON PIPE AND FITTINGS WILL BE POLYETHYLENE ENCASED WITH AN 8 MIL TUBING MEETING MANUFACTURER AND AWWA STANDARDS.

MONUMENT NOTE:

CONTRACTOR SHALL MAINTAIN BENCHMARKS, PROPERTY CORNERS, MONUMENTS, AND OTHER REFERENCE POINTS. IF SUCH POINTS ARE DISTURBED OR DESTROYED BY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL PAY FOR THEIR REPLACEMENT AT NO COST TO THE OWNER BY EMPLOYING A PROFESSIONAL LAND SURVEYOR TO RESET PROPERTY CORNERS AND OTHER SUCH MONUMENTS.

J:\214027 WV GEN ENG\004 - MOBILE HOME WATERLINE\IC_DESN_CAD\3_DESIGN\PLANS\IC-002 - GENERAL NOTES.DWG PRINTED: 11/17/2016 3:44 PM LAST SAVED: 10/20/2016 1:03 PM

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DRAWN:	JLP	CHECKED:	JLT
DESIGNED:	JLT	APPROVED:	PAO

FOR
CONSTRUCTION

KELLER
associates

707 13th Street SE #280
Salem, Oregon 97301
(503) 364-2002

City of Wood Village, Oregon
Wood Village
Green Mobile Home Park

WOOD VILLAGE - GREEN WATERLINE

GENERAL NOTES AND SPECIAL PROVISIONS

PROJECT NO.	214027-004
SHEET NO.	C-002

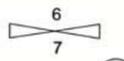


EXISTING TOPOGRAPHY

- 2460 TOPOGRAPHIC CONTOUR
- EG EDGE OF GRAVEL
- EP EDGE OF PAVEMENT
- CURB & GUTTER, SIDEWALK & DROP INLET
- X FENCE (BARBED WIRE OR OTHER)
- O FENCE (CHAINLINK)
- DITCH FLOWLINE
- TP-31 TEST PIT
- SIGN

PROPERTY

- CP #203 SURVEY CONTROL POINT
- BM-# BENCHMARK
- FOUND BRASS CAP
- FOUND ALUMINUM CAP
- FOUND 5/8" STEEL PIN
- SET 5/8" STEEL PIN W/CAP
- FOUND 1/2" STEEL PIN
- SET 1/2" STEEL PIN W/CAP
- CALCULATED POINT
- WC WITNESS CORNER
- EASEMENT - UTILITY
- EASEMENT - TEMPORARY
- EASEMENT - SETBACK
- PROJECT BOUNDARY
- P/L PROPERTY LINES
- SECTION LINES
- R/W PRESCRIPTIVE RIGHT OF WAY
- ROW DEDICATED RIGHT OF WAY
- () DATA OF RECORD
- QUARTER SECTION - NOT FOUND
- CENTER SECTION
- SECTION CORNER - FOUND



5



EXISTING UTILITY

- 12"W WATERLINE & VALVE
- 12"SS SANITARY SEWER LINE & MANHOLE
- 4"SS SANITARY SEWER SERVICE & CLEANOUT
- PS PRESSURE SEWER LINE & VALVE VAULT
- 8"SD STORM DRAIN LINE & MANHOLE
- 8"PI PRESSURE IRRIGATION & VALVE
- GI GRAVITY IRRIGATION & MANHOLE
- OHP OVERHEAD POWER LINE & POWER POLE
- UGP UNDERGROUND POWER LINE
- SIGNAL POLE
- LIGHT POLE
- NG NATURAL GAS LINE
- FO FIBER OPTIC LINE
- TEL TELEPHONE LINE & RISER
- CABLE CABLE LINE & RISER

PROPOSED GRADING

- 2457 TOPOGRAPHIC CONTOUR
- RIDGELINE
- 1.50% DRAINAGE ARROW & SLOPE
- X 57.73 SPOT ELEVATION
- SWALE FLOWLINE

PROPOSED MISCELLANEOUS

- CONSTRUCTION PHASE LIMITS
- X-X-X-X-X-X A-A-A DEMOLITION/ABANDON

PROPOSED SITE

- 6" VERTICAL CURB, GUTTER, SIDEWALK & DROP INLET
- 6" VERTICAL CUT CURB & GUTTER
- 6" REVERSE CURB & GUTTER
- 6" REVERSE CUT CURB & GUTTER
- IMBEDDED CURB

- CONCRETE (AR-CONC)
- ASPHALT (DOTS)
- GRAVEL SURFACE (AR-SAND)
- GRAVEL SECTION (GRAVEL)
- LANDSCAPE ROCK (AGGREGATE)

PROPOSED SITE (CONT.)

- CHAINLINK FENCE & GATE
- FENCE
- CLEARING AND GRUBBING
- EP EDGE OF PAVEMENT
- SIGN

PROPOSED UTILITY

- FLANGED MECHANICAL JOINT FITTING TYPES
- 8"W BEND
 - 8"W REDUCING TEE
 - TEE
 - REDUCER
 - FLANGE TO MECHANICAL JOINT COUPLING
 - CROSS
 - CAP W/BLIND FLANGE
 - CHECK VALVE
 - GATE VALVE
 - BUTTERFLY VALVE
 - BLOW-OFF VALVE
 - RESTRAINED FITTING
 - WATER SERVICE LINE & METER
 - FIRE HYDRANT
 - 8" FIRE FIRE LINE
 - 8"W WATERLINE
 - MONITORING WELL
 - LOCATION WIRE BOX
 - NON-FREEZE YARD HYDRANT
 - 8"PI PRESSURE IRRIGATION, TEE & GATE VALVE
 - 2"PI PRESSURE IRRIGATION SERVICE
 - 8"GI GRAVITY IRRIGATION & STRUCTURE
 - 8"SS SANITARY SEWER & MANHOLE W/ VENTED LID
 - 4"SS SANITARY SEWER SERVICE & CAP
 - 4"SS SANITARY SEWER SERVICE & CLEANOUT
 - 8"PS PRESSURE SEWER & VALVE VAULT
 - 18"SD STORM DRAIN LINE & CATCHBASIN W/ GRATED LID
 - 12"SD STORM DRAIN LINE & MANHOLE W/ VENTED LID

PROPOSED UTILITY (CONT.)

- JOINT TRENCH IN PROFILE
- CABLE & TELEPHONE RISERS
- JOINT TRENCH & DEVICE
- JUNCTION BOX & DUCT BANK
- GAS NATURAL GAS LINE & METER
- GAS NATURAL GAS LINE & RISER
- GAS NATURAL GAS LINE & VALVE
- UGP UNDERGROUND POWER
- OHP OVERHEAD POWER & POLE
- LIGHT POLE
- TEL TELEPHONE LINE & RISER
- FO FIBER OPTIC LINE & VAULT
- T/D TELEPHONE DATA LINE
- CABLE CABLE & TV RISER



NOTES:

1. NOTIFY ENGINEER IF SYMBOL IS NOT IN LEGEND OR SYMBOL DISCREPANCY IS FOUND.
2. THIS IS A GENERAL LIST OF SYMBOLS AND LINES, NOT ALL ARE USED ON THIS PROJECT.

NO.	REVISIONS	BY	DATE

DRAWN: JLP CHECKED: JLT
 DESIGNED: JLT APPROVED: PAO

VERIFY SCALE:
 Scales based on 22"x34" prints. 2 Inches

FOR CONSTRUCTION

707 13th Street SE #280
Salem, Oregon 97301
(503) 364-2002

City of Wood Village, Oregon
Wood Village
Green Mobile Home Park

WOOD VILLAGE - GREEN WATERLINE

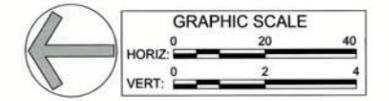
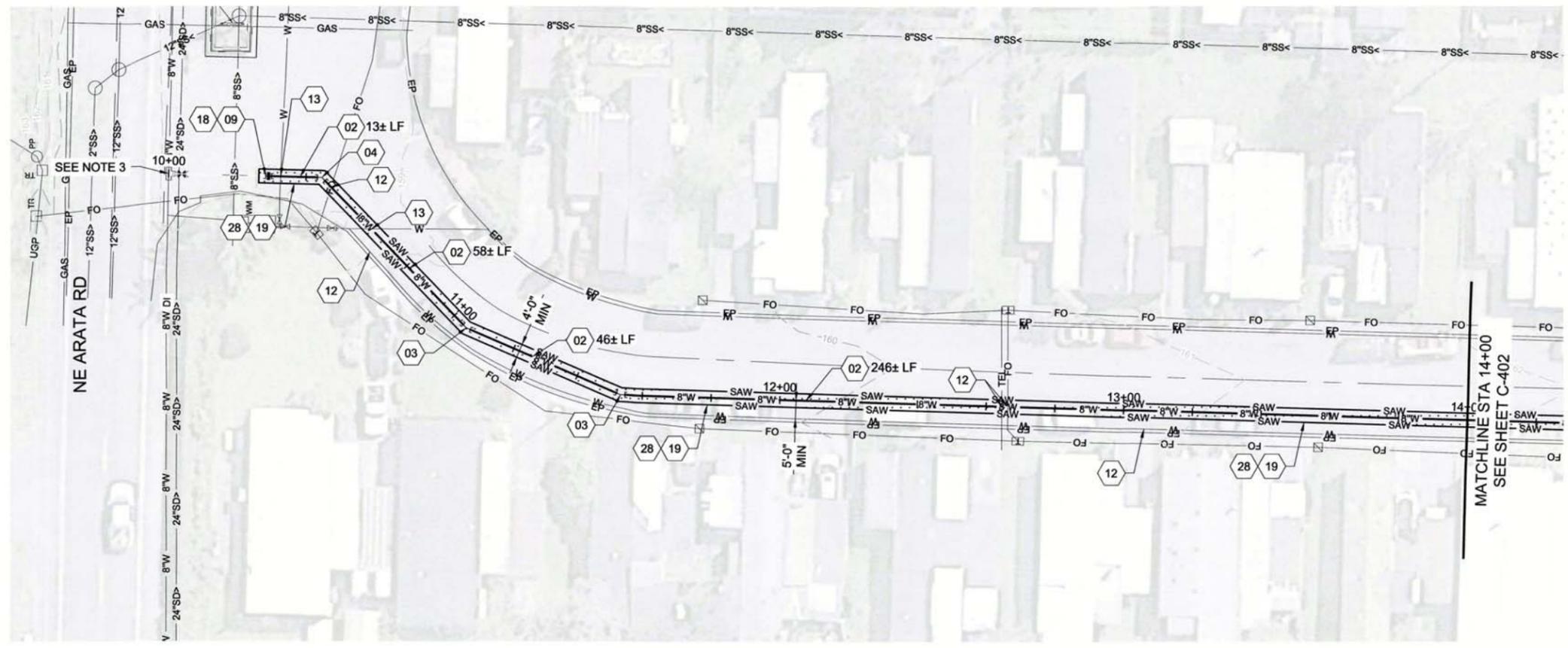
SYMBOLS & LINE LEGEND

PROJECT NO.
214027-004

SHEET NO.
C-004

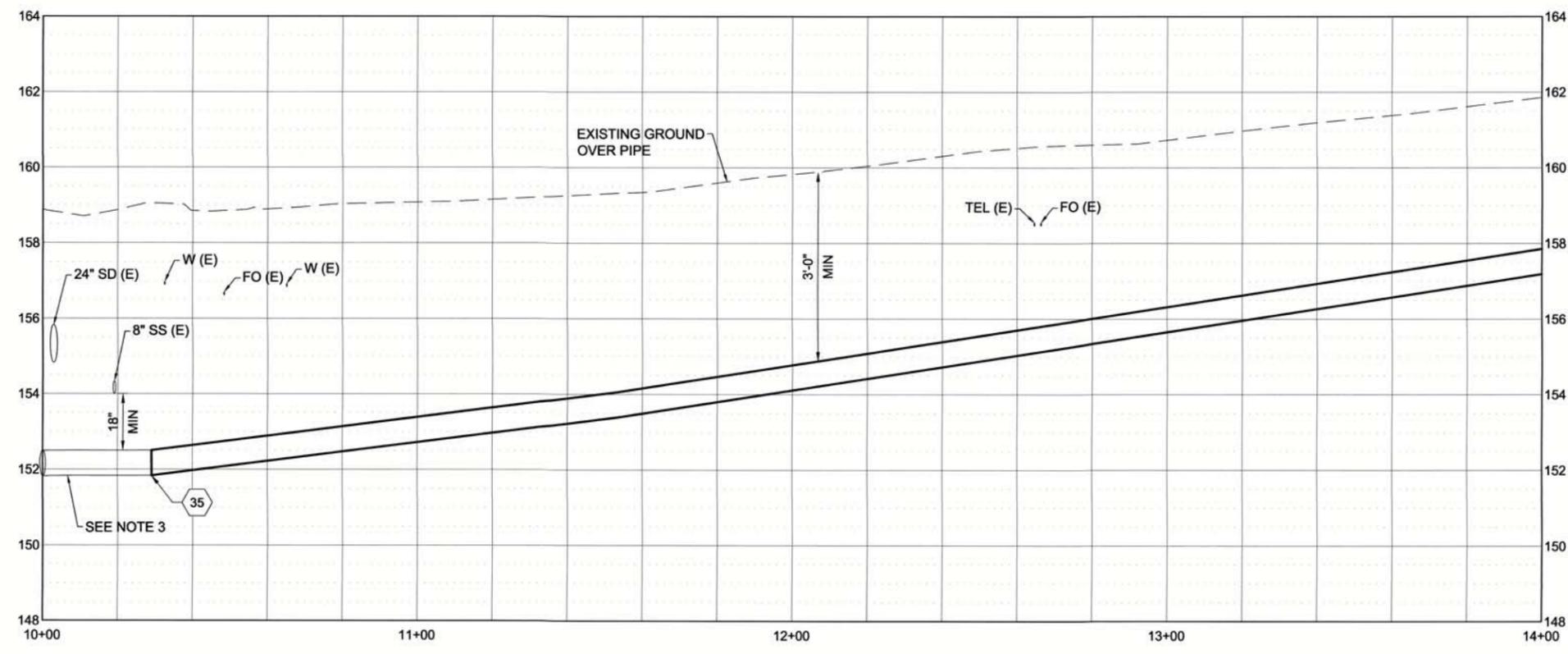
J:\214027.WV.GEN.ENG\004-MOBILE.HOME.WATERLINE\CD.DWG DESIGNED: PLANS-11C-004 SYMBOLS & LINE LEGEND.DWG 10/20/15 1:14 PM

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- ### GENERAL SHEET NOTES
- EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATION AND DEPTH. PRIOR TO CONSTRUCTION CONTRACTOR TO POTHOLE IN A NON-DESTRUCTIVE MANNER EXISTING UTILITIES TO VERIFY LOCATION AND DEPTHS.
 - PROVIDE THRUST BLOCKING AT EACH HORIZONTAL AND VERTICAL CHANGE IN DIRECTION. RE: CITY STD. DWG. 4-1 SHEET C-502
 - HOT TAP, VALVE & PIPE WITH CAP, TO BE INSTALLED BY CITY.
 - ALIGNMENT TO BE OFFSET FROM RIBBON CURB BY 5' TYPICAL.
 - ALIGNMENT OFFSET FROM EXISTING WATER LINE BY MINIMUM OF 5' TYPICAL.
 - BACKFILL TRENCH TO SPECIFICATIONS, RE: B1/C-501.
 - MAINTAIN MINIMUM 12" VERTICAL SEPARATION FROM UTILITIES WITH EXCEPTION OF SANITARY AND STORM CROSSING.

- ### SHEET KEYNOTES
- 02 PIPE - 8" DI
 - 03 FITTING - 22.5° BEND
 - 04 FITTING - 45° BEND
 - 09 FITTING - 8" COUPLING
 - 12 RETAIN & PROTECT EXISTING UTILITIES
 - 13 WATER LINE CROSSING, MAINTAIN 12" VERTICAL SEPARATION FROM EXISTING PIPE
 - 18 CONNECT TO EXISTING WATERLINE
 - 19 SAWCUT EXISTING PAVEMENT, RE: CITY STD. DWG. 5-14 SHEET C-502
 - 28 ASPHALT PAVEMENT REPAIR, REPLACE DAMAGED ASPHALT FROM EDGE OF CURB TO SUITABLE ASPHALT. EXACT WIDTH TO BE DETERMINED BY CONTRACTOR AND APPROVED BY CITY. RE: CITY STD. DWG. 5-14 SHEET C-502
 - 35 DEFLECT PIPE AT JOINTS TO ACHIEVE VERTICAL BEND. DEFLECTION SHOULD NOT EXCEED MANUFACTURER'S RECOMMENDED DEFLECTION ANGLE



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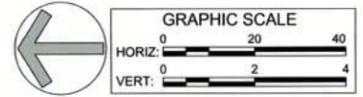
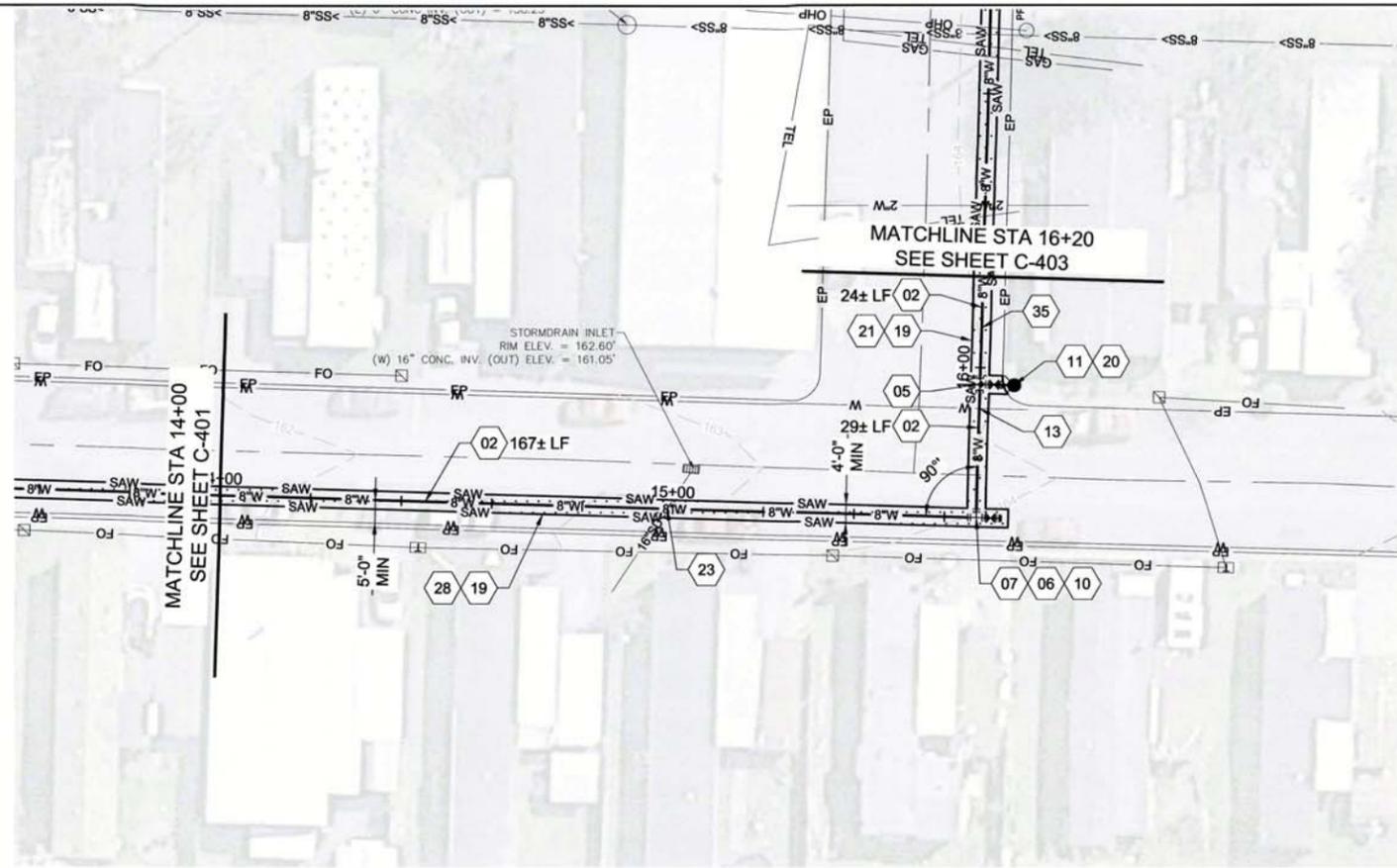


City of Wood Village, Oregon
Wood Village
Green Mobile Home Park

WOOD VILLAGE - GREEN WATERLINE
WATERLINE PLAN & PROFILE
- STA. 10+00 TO STA. 14+00

PROJECT NO. 214027-004
SHEET NO. C-401

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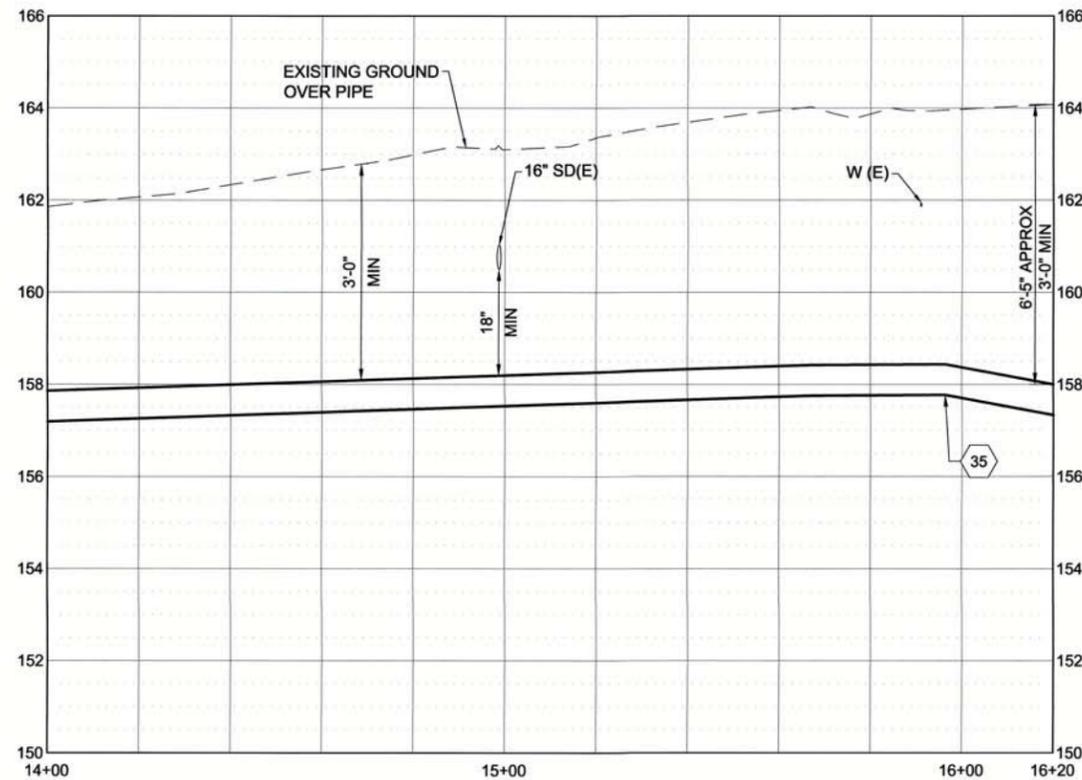


GENERAL SHEET NOTES

- EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATION AND DEPTH. PRIOR TO CONSTRUCTION CONTRACTOR TO POTHOLE IN A NON-DESTRUCTIVE MANNER EXISTING UTILITIES TO VERIFY LOCATION AND DEPTHS.
- PROVIDE THRUST BLOCKING AT EACH HORIZONTAL AND VERTICAL CHANGE IN DIRECTION. RE: CITY STD. DWG. 4-1 SHEET C-502.
- ALIGNMENT TO BE OFFSET FROM RIBBON CURB BY 5' TYPICAL.
- ALIGNMENT OFFSET FROM EXISTING WATER LINE BY MINIMUM OF 5' TYPICAL.
- BACKFILL TRENCH TO SPECIFICATIONS, RE: B1/C-501.
- MAINTAIN MINIMUM 12" VERTICAL SEPARATION FROM UTILITIES WITH EXCEPTION OF SANITARY AND STORM CROSSING.

SHEET KEYNOTES

- 02 PIPE - 8" DI
- 05 FITTING - 8"x6" REDUCING TEE
- 06 FITTING - 8" CAP
- 07 FITTING - 8" TEE
- 10 VALVE - 8" GATE, RE: CITY STD. DWG. 4-4 SHEET C-502
- 11 FIRE HYDRANT ASSEMBLY RE: CITY STD. DWG. 4-3 SHEET C-502
- 13 WATER LINE CROSSING, MAINTAIN 12" VERTICAL SEPARATION FROM EXISTING PIPE
- 19 SAWCUT EXISTING PAVEMENT, RE: CITY STD. DWG. 5-14 SHEET C-502
- 20 RESTORE TO EXISTING SURFACE GRADE WITH NATIVE BACKFILL. REPLACE CONCRETE RIBBON CURB TO MATCH EXISTING CONDITIONS
- 21 ASPHALT PAVEMENT REPAIR RE: CITY STD. DWG. 5-14 SHEET C-502
- 23 POTABLE/ NON-POTABLE CROSSING, RE: A1/C-501
- 28 ASPHALT PAVEMENT REPAIR, REPLACE DAMAGED ASPHALT FROM EDGE OF CURB TO SUITABLE ASPHALT. EXACT WIDTH TO BE DETERMINED BY CONTRACTOR AND APPROVED BY CITY. RE: CITY STD. DWG. 5-14 SHEET C-502
- 35 DEFLECT PIPE AT JOINTS TO ACHIEVE VERTICAL BEND. DEFLECTION SHOULD NOT EXCEED MANUFACTURER'S RECOMMENDED DEFLECTION ANGLE



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FOR
CONSTRUCTION

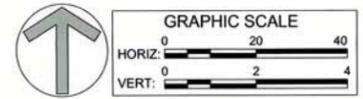
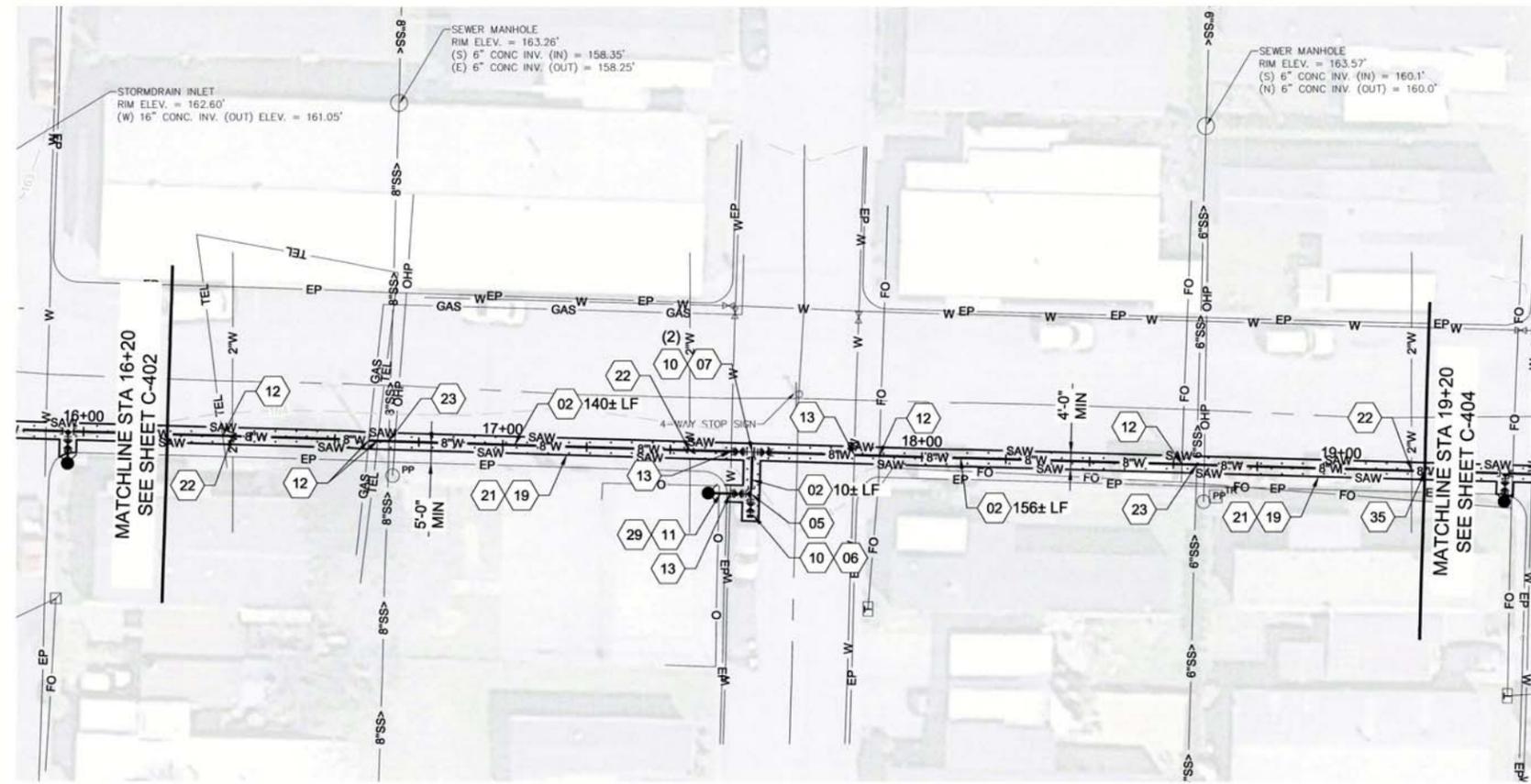
707 13th Street SE #280
Salem, Oregon 97301
(503) 364-2002

City of Wood Village, Oregon
Wood Village
Green Mobile Home Park

WOOD VILLAGE - GREEN WATERLINE
WATERLINE PLAN & PROFILE
- STA. 14+00 TO STA. 16+20

PROJECT NO. 214027-004
SHEET NO. C-402

J:\214027\WV_GEN\ENG\004 - MOBILE HOME WATERLINE.EC_DESNL CAD\3 DESIGND PLANS\1C-401 - WATERLINE.DWG LAST SAVED: 11/15/2016 8:28 AM PRINTED: 11/17/2016 3:49 PM

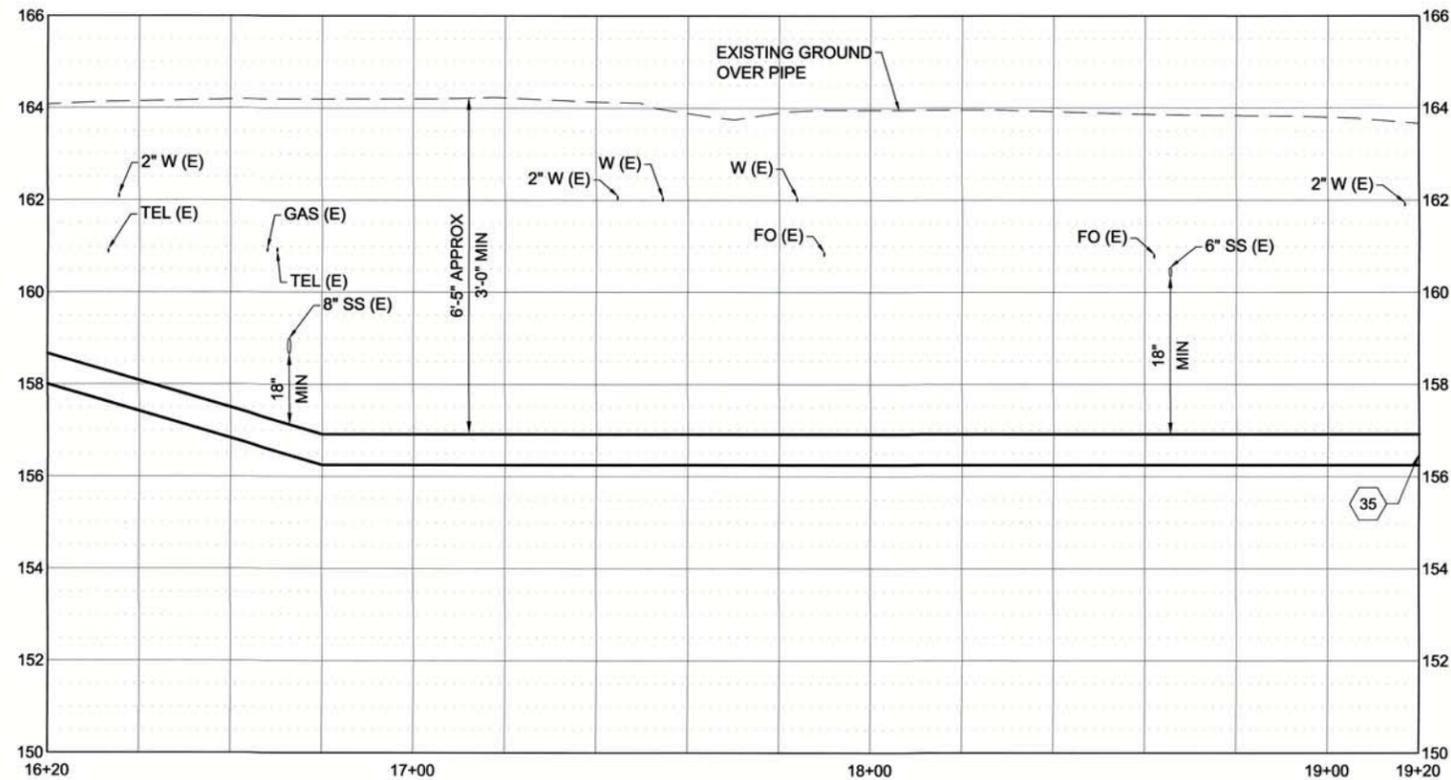


GENERAL SHEET NOTES

- EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATION AND DEPTH. PRIOR TO CONSTRUCTION CONTRACTOR TO POTHOLE IN A NON-DESTRUCTIVE MANNER EXISTING UTILITIES TO VERIFY LOCATION AND DEPTHS.
- PROVIDE THRUST BLOCKING AT EACH HORIZONTAL AND VERTICAL CHANGE IN DIRECTION. RE: CITY STD. DWG. 4-1 SHEET C-502.
- ALIGNMENT TO BE OFFSET FROM CURB BY 5' TYPICAL.
- BACKFILL TRENCH TO SPECIFICATIONS, RE: B1/C-501.
- MAINTAIN MINIMUM 12" VERTICAL SEPARATION FROM UTILITIES WITH EXCEPTION OF SANITARY AND STORM CROSSING.

SHEET KEYNOTES

- 02 PIPE - 8" DI
- 05 FITTING - 8"x6" REDUCING TEE
- 06 FITTING - 8" CAP
- 07 FITTING - 8" TEE
- 10 VALVE - 8" GATE, RE: CITY STD. DWG. 4-4 SHEET C-502
- 11 FIRE HYDRANT ASSEMBLY RE: CITY STD. DWG. 4-3 SHEET C-502
- 12 RETAIN & PROTECT EXISTING UTILITIES
- 13 WATER LINE CROSSING, MAINTAIN 12" VERTICAL SEPARATION FROM EXISTING PIPE
- 19 SAWCUT EXISTING PAVEMENT, RE: CITY STD. DWG. 5-14 SHEET C-502
- 21 ASPHALT PAVEMENT REPAIR RE: CITY STD. DWG. 5-14 SHEET C-502
- 22 ABANDONED 2" GALVANIZED WATER LINE. CUT, CAP, AND ABANDON
- 23 POTABLE/ NON-POTABLE CROSSING, RE: A1/C-501
- 29 CUT CORNER OF EXISTING BASKETBALL COURT AND CHAIN LINK FENCE. REPLACE CHAIN LINK FENCE TO ALLOW 3 FEET CLEARANCE AROUND HYDRANT. REPLACE CONCRETE RIBBON CURB TO MATCH EXISTING CONDITIONS
- 35 DEFLECT PIPE AT JOINTS TO ACHIEVE VERTICAL BEND. DEFLECTION SHOULD NOT EXCEED MANUFACTURER'S RECOMMENDED DEFLECTION ANGLE



NO.	REVISIONS	BY	DATE

DRAWN:	JLP	CHECKED:	JLT
DESIGNED:	JLT	APPROVED:	PAO

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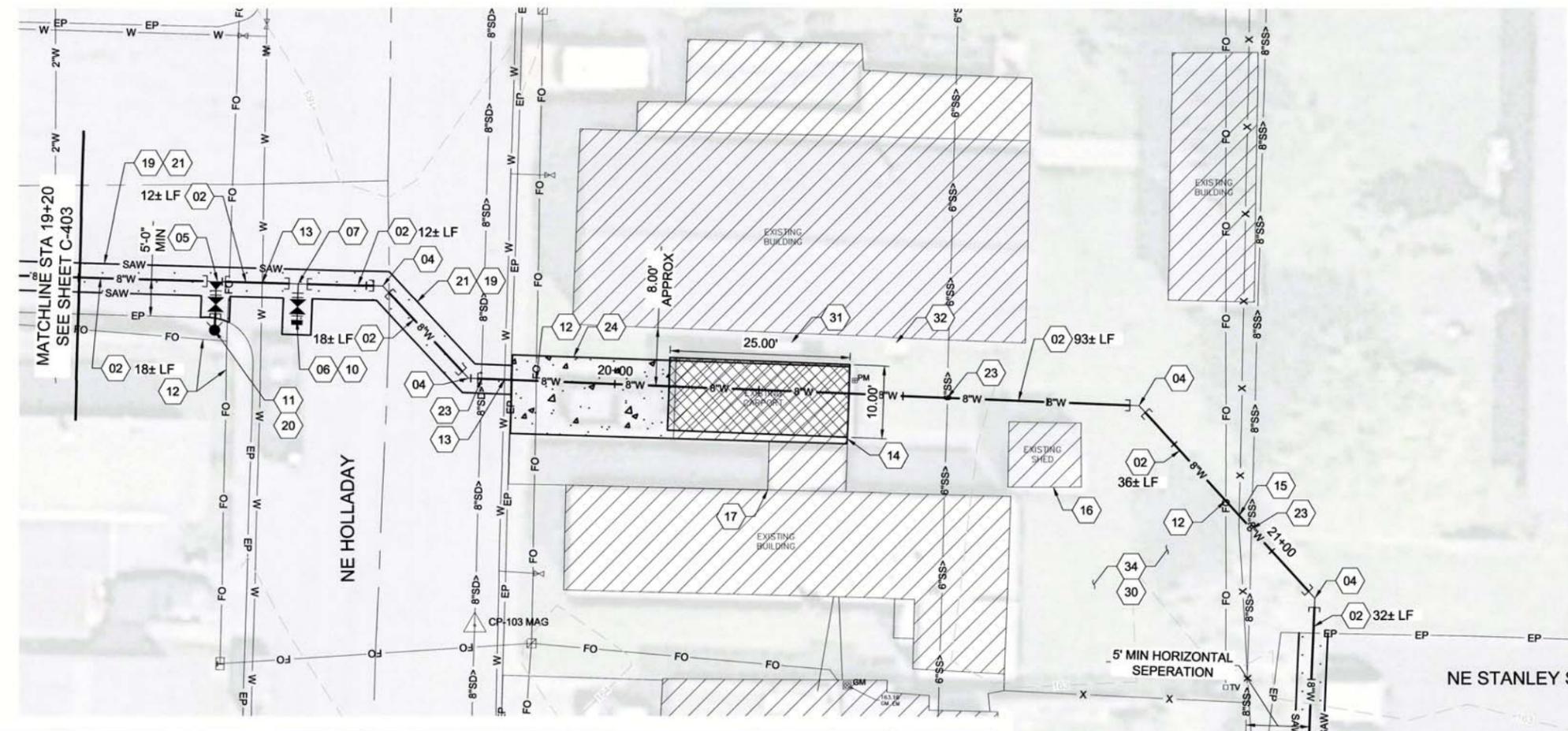


City of Wood Village, Oregon
Wood Village
Green Mobile Home Park

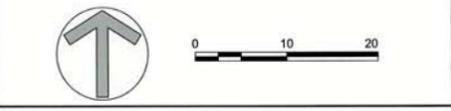
WOOD VILLAGE - GREEN WATERLINE
WATERLINE PLAN & PROFILE
- STA. 16+20 TO STA. 19+20

PROJECT NO.	214027-004
SHEET NO.	C-403

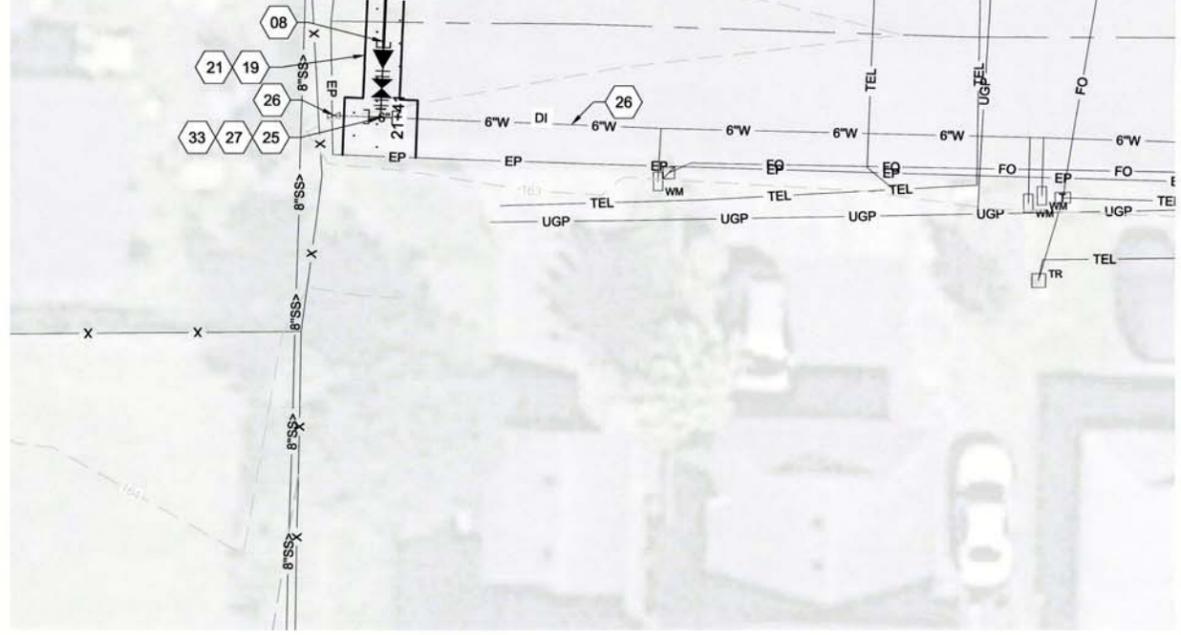
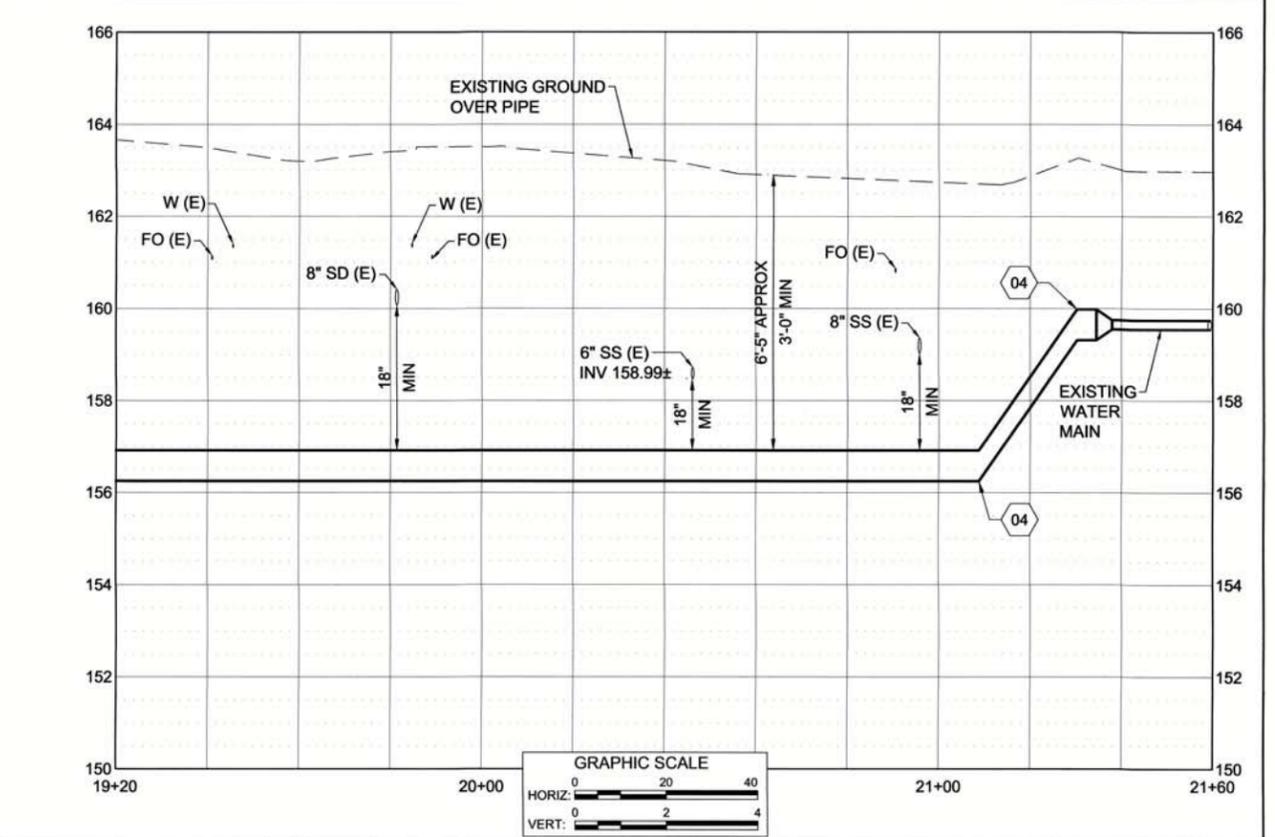
J:\214027\WV GEN ENG\004 - MOBILE HOME WATERLINE\DESIGN\PLANS\1C-401 - WATERLINE.DWG LAST SAVED: 11/15/2016 6:28 AM PRINTED: 11/17/2016 3:49 PM



- ### GENERAL SHEET NOTES
- EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATION AND DEPTH. PRIOR TO CONSTRUCTION CONTRACTOR TO POT HOLE IN A NON-DESTRUCTIVE MANNER EXISTING UTILITIES TO VERIFY LOCATION AND DEPTHS.
 - PROVIDE THRUST BLOCKING AT EACH HORIZONTAL AND VERTICAL CHANGE IN DIRECTION. RE: CITY STD. DWG. 4-1 SHEET C-502.
 - BACKFILL TRENCH TO SPECIFICATIONS, B1/C-501.
 - MAINTAIN MINIMUM 12" VERTICAL SEPARATION FROM UTILITIES WITH EXCEPTION OF SANITARY AND STORM CROSSING.
 - MAINTAIN MINIMUM HORIZONTAL SEPARATION OF 5' BETWEEN PARALLEL SANITARY SEWER AND WATER LINE. PER OAR 333-061-0050(9).



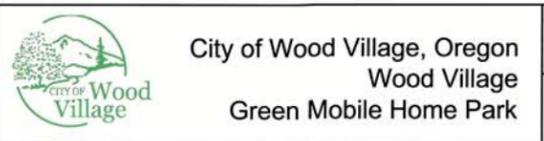
- ### SHEET KEYNOTES
- PIPE - 8" DI
 - FITTING - 45° BEND
 - FITTING - 8"x6" REDUCING TEE
 - FITTING - 8" CAP
 - FITTING - 8" TEE
 - FITTING - 8"x6" REDUCER
 - VALVE - 8" GATE, RE: CITY STD. DWG. 4-4 SHEET C-502
 - FIRE HYDRANT ASSEMBLY RE: CITY STD. DWG. 4-3 SHEET C-502
 - RETAIN & PROTECT EXISTING UTILITIES
 - WATER LINE CROSSING, MAINTAIN 12" VERTICAL SEPARATION FROM EXISTING PIPE
 - MUST RECEIVE OWNERS APPROVAL BEFORE DEMO AND INSTALL. REMOVE EXISTING CARPORT, REPLACE WITH NEW CARPORT OF SIMILAR STYLE, 10'x25'
 - REMOVE & REPLACE EXISTING WOOD FENCE TO EXISTING CONDITION OR BETTER
 - RETAIN & PROTECT EXISTING SHED
 - RETAIN & PROTECT EXISTING STRUCTURE, MOBILE HOME & RAMP
 - SAWCUT EXISTING PAVEMENT, RE: CITY STD. DWG. 5-14 SHEET C-502
 - RESTORE TO EXISTING SURFACE GRADE WITH NATIVE BACKFILL. REPLACE CONCRETE RIBBON CURB TO MATCH EXISTING CONDITIONS
 - ASPHALT PAVEMENT REPAIR RE: CITY STD. DWG. 5-14 SHEET C-502
 - POTABLE/ NON-POTABLE CROSSING, RE: A1/C-501
 - REPLACE CONCRETE DRIVEWAY, RE: A3/C-501
 - FITTING - 6" TEE
 - RETAIN & PROTECT EXISTING 6" DI WATERLINE & APPURTENANCES
 - CONNECT TO EXISTING 6" DUCTILE IRON WATERLINE, FITTINGS AS REQUIRED
 - REMOVE EXISTING TREES AS REQUIRED WITH PROPERTY OWNERS APPROVAL
 - RETAIN & PROTECT EXISTING STAIRWAY
 - RETAIN & PROTECT EXISTING HVAC EQUIPMENT
 - VALVE - 6" GATE RE: CITY STD. DWG. 4-4 SHEET C-502
 - REPAIR EXISTING LANDSCAPE TO EXISTING CONDITION OR BETTER



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DESIGNED: JLT	APPROVED: PAO

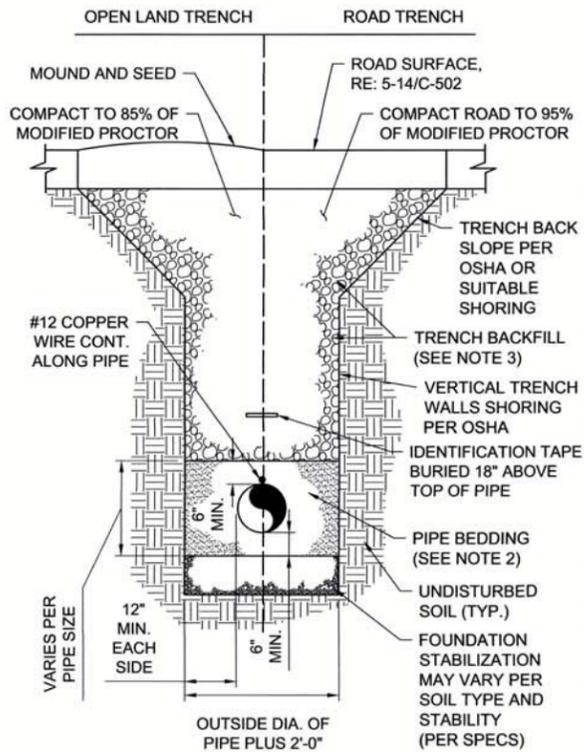
FOR CONSTRUCTION



WOOD VILLAGE - GREEN WATERLINE
WATERLINE PLAN & PROFILE
- STA. 19+20 TO END

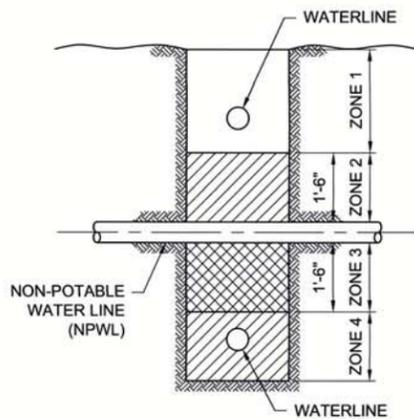
PROJECT NO. 214027-004
SHEET NO. C-404





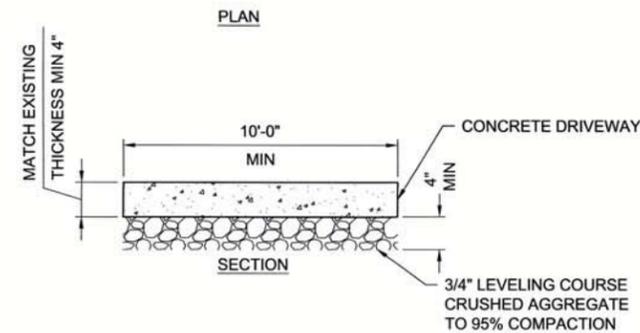
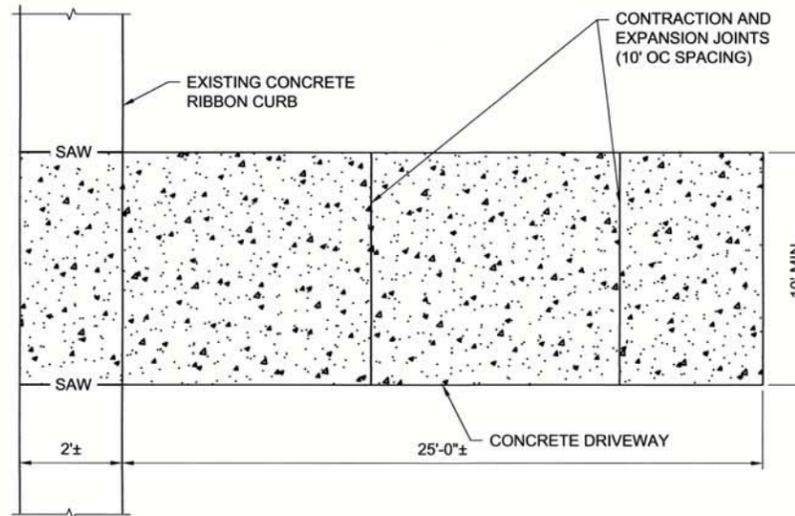
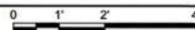
- NOTES:**
1. COMPACT ALL TRENCH BACKFILL AND BEDDING TO 95% OF MODIFIED PROCTOR UNLESS OTHERWISE SPECIFIED.
 2. PIPE BEDDING MATERIAL SHALL BE 1" OR 3/4" THAT MEETS OREGON STD SPECS, 2630.1.
 3. TRENCH BACKFILL UNDER SURFACES OR STRUCTURES SHALL BE 1" OR 3/4" THAT MEETS OREGON STD SPECS, 2630.1. TRENCH BACKFILL UNDER OPEN LAND SHALL BE NATIVE EXCAVATION MATERIAL AS LONG AS IT IS NOT UNSUITABLE AS DETERMINED BY THE ENGINEER

B1 TYPICAL TRENCH SECTION
N.T.S.



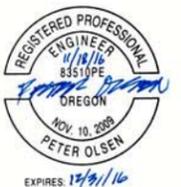
- ZONE 1:** A) WATER AND NPWL MUST BE SEPERATED BY AT LEAST 18 INCHES. AND B) ONCE FULL, UN CUT LENGTH OF WATER PIPE MUST BE CENTERED OVER THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE NPWL.
- ZONE 2:** A) ONE FULL, UN CUT LENGTH OF PIPE MUST BE CENTERED OVER THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE NPWL. AND B) NPWL MAIN MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING. OR C) EITHER THE NPWL OR WATER MAIN OR MOTH MUST BE ENCASED IN A LEAST 4 INCHES OF CONCRETE MEASURED AT THE BELL FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3:** SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4:** SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

A1 NON-POTABLE WATERLINE CROSSING
1/2" = 1'-0"



- NOTES:**
1. BASE: 4 INCH COMPACTED DEPTH OF 3/4\"/>
 2. CONTINUOUS PLACEMENT PERFERRED. SCORE INTERVALS 5- FEET MAXIMUM SPACING.
 3. COMPACTED NATIVE MATERIAL TO 95% OF STANDARD PROCTOR TO 1 FOOT DEPTH.

A3 CONCRETE DRIVEWAY
N.T.S.



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VERIFY SCALE: Scales based on 22"x34" prints.			
2 Inches			

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**Keller
associates**
707 13th Street SE #280
Salem, Oregon 97301
(503) 364-2002

City of Wood Village, Oregon
Wood Village
Green Mobile Home Park

WOOD VILLAGE - GREEN WATERLINE

DETAILS

PROJECT NO.	214027-004
SHEET NO.	C-501

